

DRAWING SCALE: 1:100



REFERENCE	ITEM
B1	CARPET CEILING - 150mm (100 REARWARDS)
B2	140mm PVC DRAPE FOR ROOF OF MASTHEAD - 150mm (100 REARWARDS)
B3	140mm PVC DRAPE FOR ROOF OF MASTHEAD - 150mm (100 REARWARDS)
B4	SEE CONCRETE FLOOR
B5	CARPET CEILING - 150mm (100 REARWARDS)
B6	SEE CONCRETE FLOOR
B7	SEE CONCRETE FLOOR
B8	SEE CONCRETE FLOOR
B9	140mm PVC DRAPE FOR ROOF OF MASTHEAD - 150mm (100 REARWARDS)
B10	SEE CONCRETE FLOOR

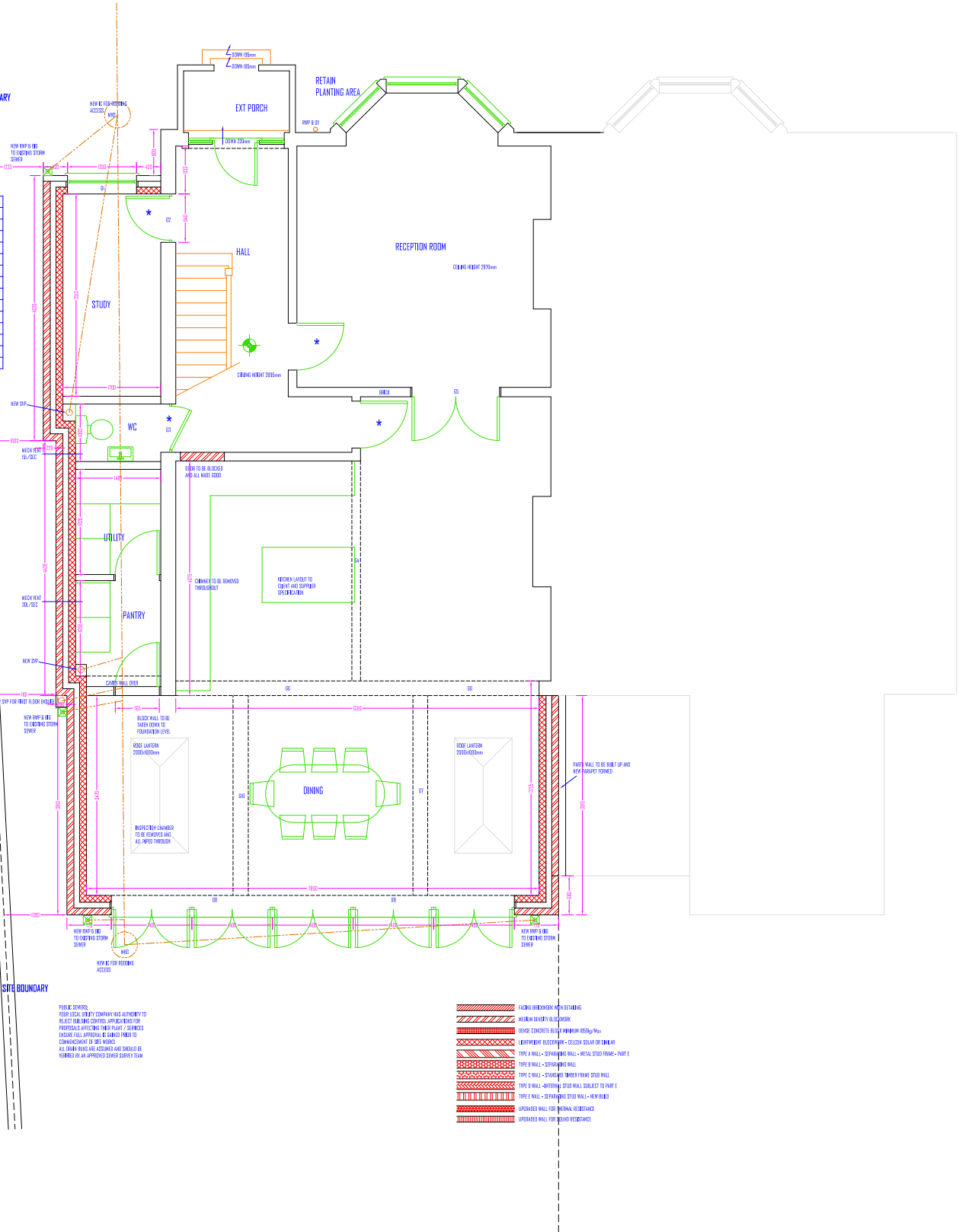
APPROX POSITION OF CORNER OF No 10 HOWARDS ROAD PROPERTY

2300mm HIGH GARDEN WALL

CONTRACTOR TO CONVINCE PROPERTY OWNER THAT WALL IS FOR USE AND NOT DEMOLITION TO BE PROPOSED
 ALL WORKS TO BE CHECKED FOR ACCURACY TO CARRY OUT WORK. LAYOUTS MUST BE RECHECKED PER ASCE OR APPROVED TO CONSTRUCTION OF A SITE
 ALL STRUCTURAL WORK, CONCRETE, PRECAST, REINFORCEMENT, WALLS, FOUNDATIONS, ETC TO BE APPROVED TO THE APPROVAL OF A REGISTERED STRUCTURAL ENGINEER
 NEW WORK
 ALL NEW WORK TO BE CONSTRUCTED AND CHECKED AGAINST ENGLISH CONTRACTORS' STANDARD CONDITIONS OF CONTRACT FOR THE CONSTRUCTION OF COMMERCIAL AND INDUSTRIAL STRUCTURES, 1999 EDITION AND ALL APPLICABLE PROVISIONS THEREIN
 * WORKS OF EXISTING WORK
 WORKMAN SHALL CLEAR AND DEMOLISH EXISTING WORK AS SHOWN BY ANY DIMENSIONS BOTTOM OF OPERABLE AREA TO THE FINISH FLOOR - 150mm FROM FINISH FLOOR LEVEL EXCEPT WHERE NOT INDICATED OTHERWISE
 * WORKS TO BE DEMOLISHED AND NEW WORK TO BE CONSTRUCTED AT SAME LEVEL AS NEW FINISH FLOOR LEVEL

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ALL DRAWINGS TO BE CHECKED FOR ACCURACY TO BE APPROVED TO THE APPROVAL OF THE REGISTERED STRUCTURAL ENGINEER
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[Pattern]	EXISTING CONCRETE FLOOR
[Pattern]	NEW CONCRETE FLOOR - 150mm (100 REARWARDS)
[Pattern]	NEW CONCRETE FLOOR - 150mm (100 REARWARDS)
[Pattern]	TYPE 1 WALL - SEPARATING WALL - METAL STUD FRAME - PART 1
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[Pattern]	TYPE 1 WALL - SEPARATING WALL - METAL STUD FRAME - PART 1
[Pattern]	SEPARATING WALL FOR INTERNAL ACCESS
[Pattern]	SEPARATING WALL FOR INTERNAL ACCESS

REFERENCE	ITEM
B1	CARPET CEILING - 150mm (100 REARWARDS)
B2	SEE FLOORING SYSTEM
B3	SEE FLOORING SYSTEM
B4	CARPET CEILING - 150mm (100 REARWARDS)
B5	140mm PVC DRAPE FOR ROOF OF MASTHEAD - 150mm (100 REARWARDS)
B6	140mm PVC DRAPE FOR ROOF OF MASTHEAD - 150mm (100 REARWARDS)

APPROX POSITION OF CORNER OF No 10 HOWARDS ROAD PROPERTY

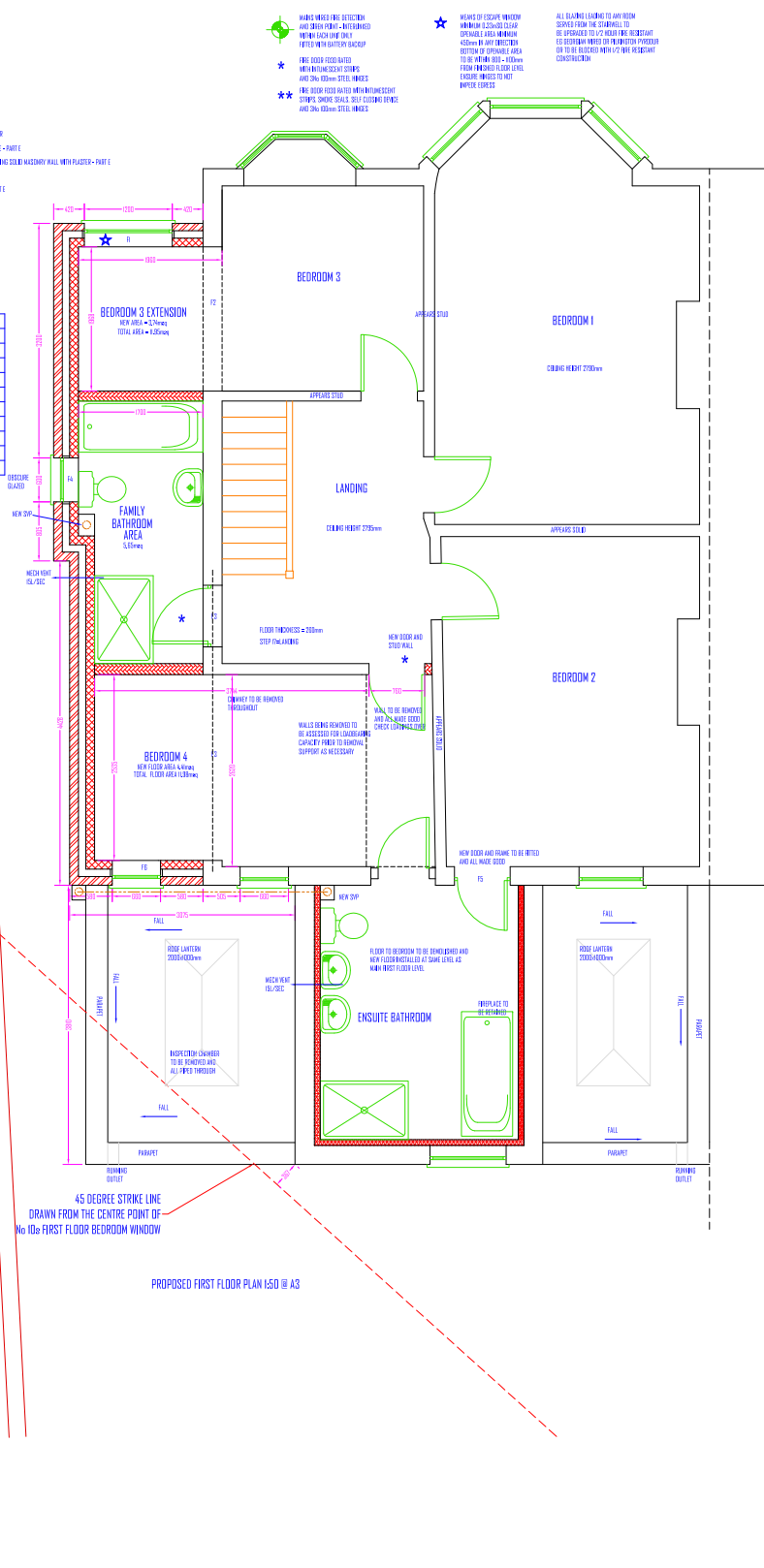
2300mm HIGH GARDEN WALL BELOW

45 DEGREE STRIKE LINE DRAWN FROM THE CENTRE POINT OF No 10a FIRST FLOOR BEDROOM WINDOW

PROPOSED FIRST FLOOR PLAN 150 W X 3

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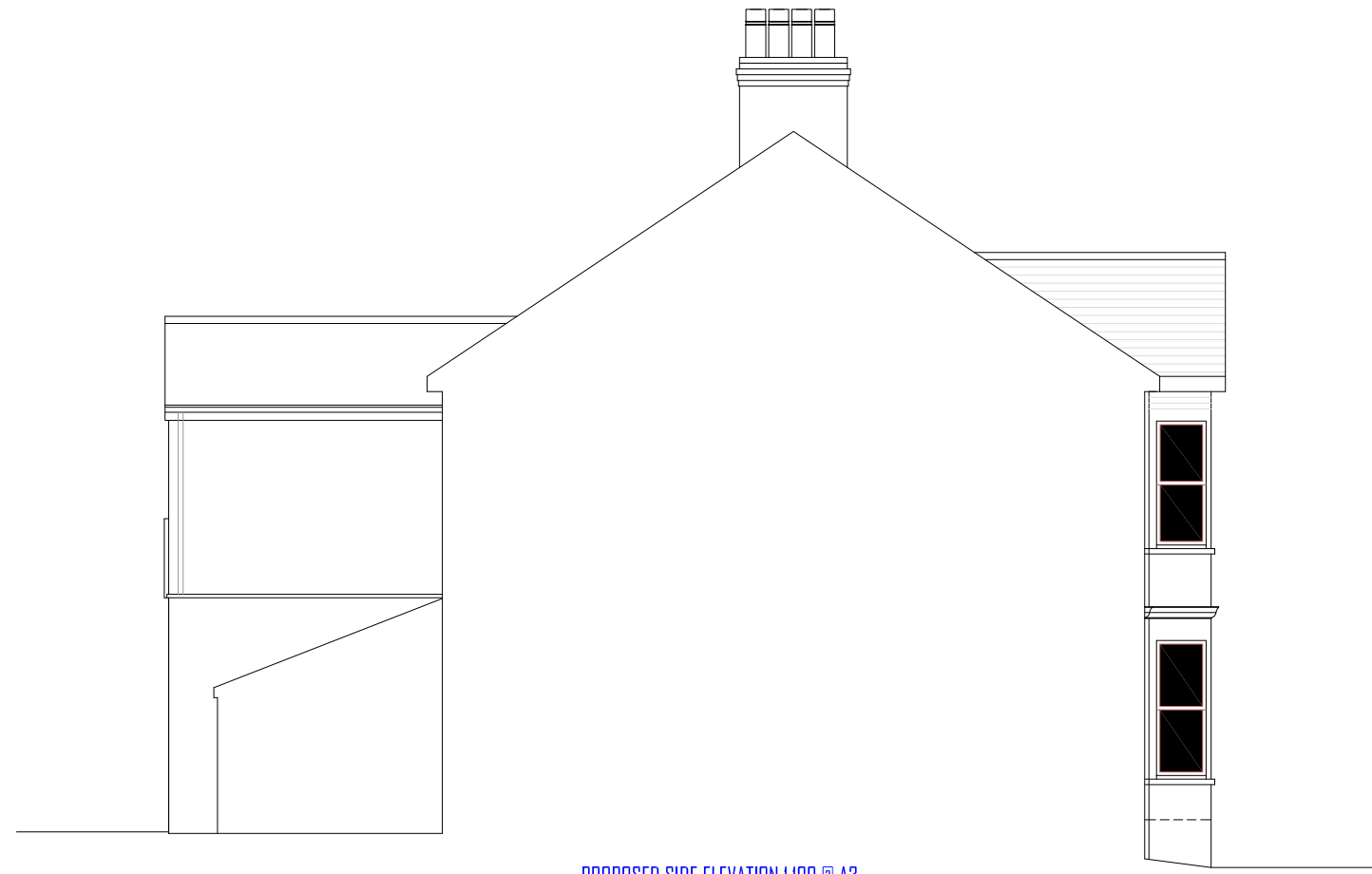
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DRAWING SCALE: 1:100

1.0 0 METRES 5.0



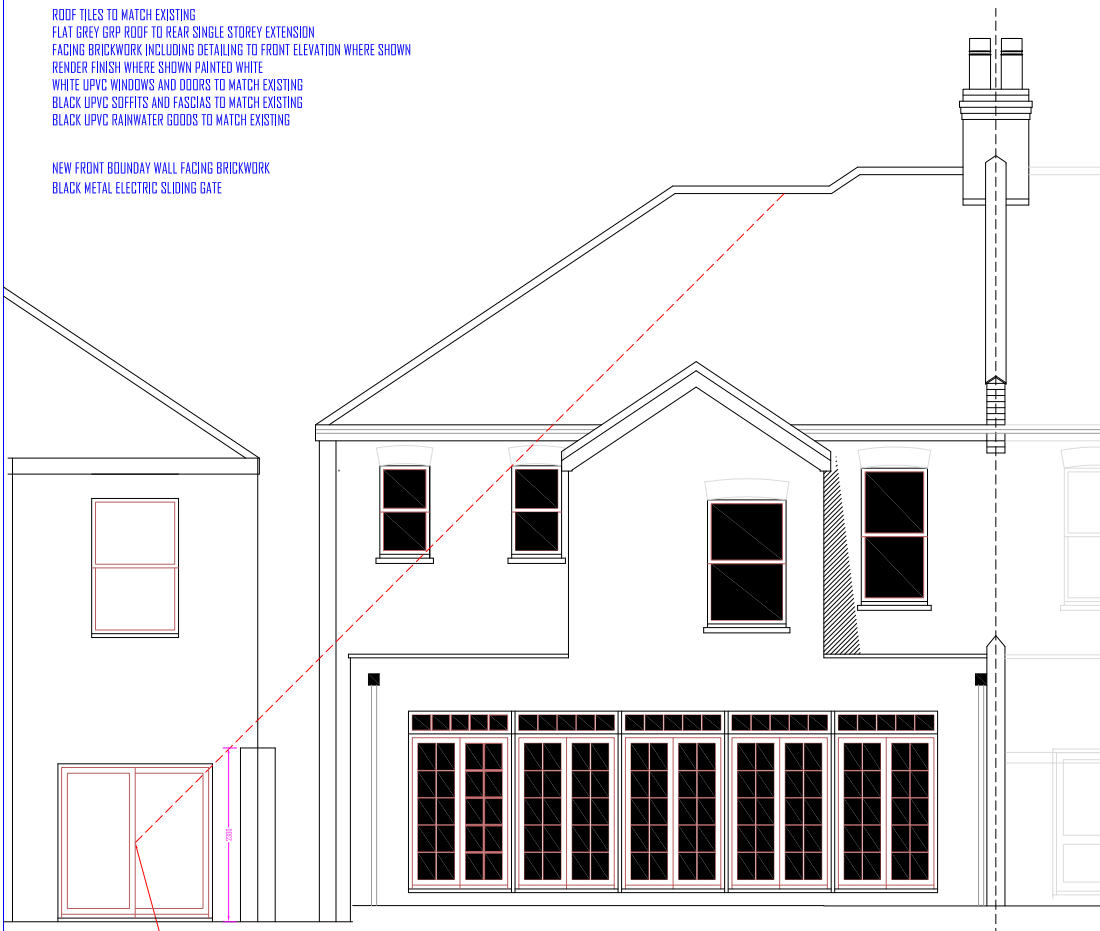
PROPOSED FRONT ELEVATION 1:100 @ A3



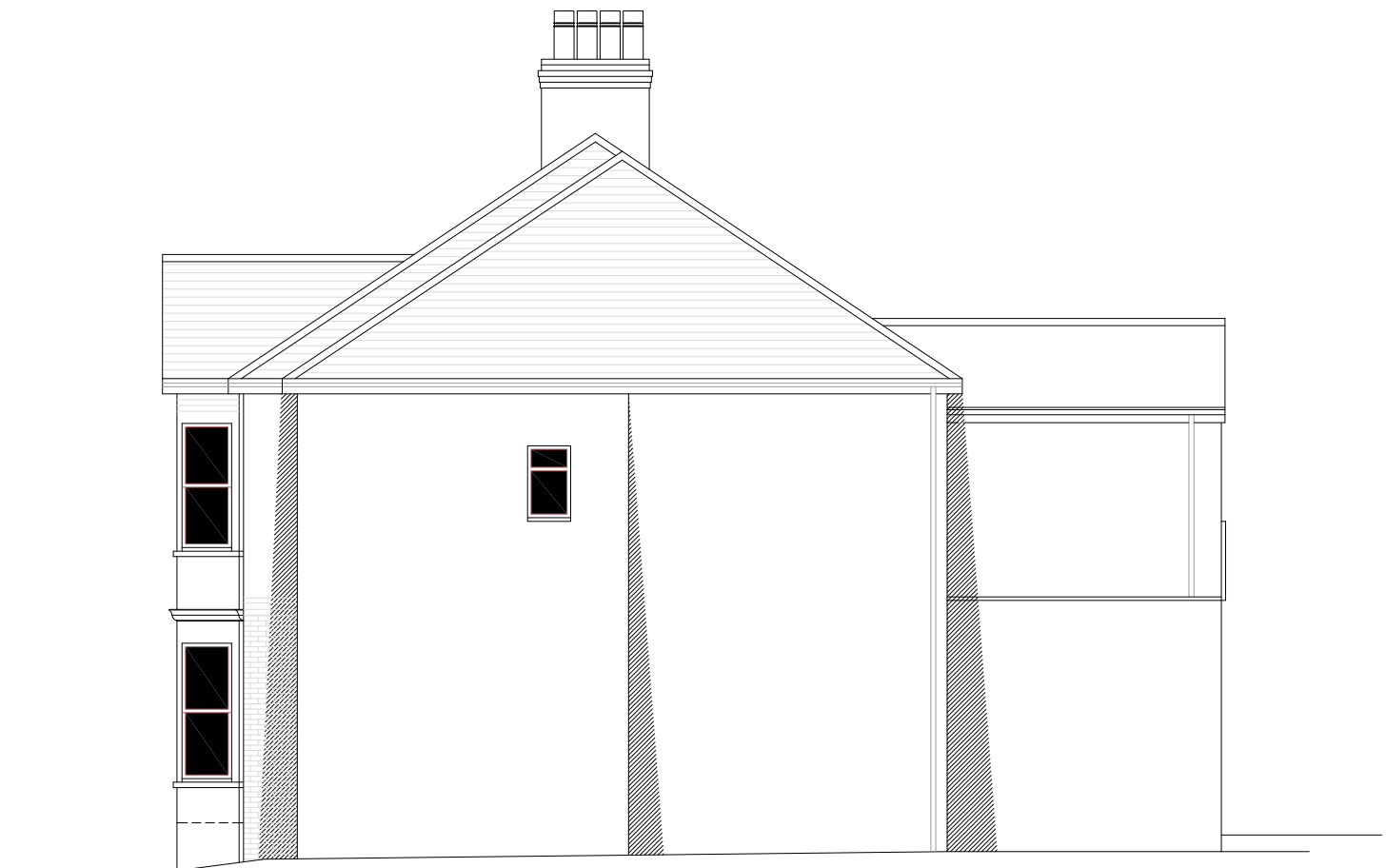
PROPOSED SIDE ELEVATION 1:100 @ A3

ROOF TILES TO MATCH EXISTING
 FLAT GREY GRP ROOF TO REAR SINGLE STOREY EXTENSION
 FACING BRICKWORK INCLUDING DETAILING TO FRONT ELEVATION WHERE SHOWN
 RENDER FINISH WHERE SHOWN PAINTED WHITE
 WHITE UPVC WINDOWS AND DOORS TO MATCH EXISTING
 BLACK UPVC SOFFITS AND FASCIAS TO MATCH EXISTING
 BLACK UPVC RAINWATER GOODS TO MATCH EXISTING

NEW FRONT BOUNDARY WALL FACING BRICKWORK
 BLACK METAL ELECTRIC SLIDING GATE



PROPOSED REAR ELEVATION 1:100 @ A3



PROPOSED SIDE ELEVATION 1:100 @ A3

45 DEGREE STRIKE LINE
 DRAWN FROM THE CENTRE POINT OF
 No 10a FIRST FLOOR LOUNGE DOORS