

A Householder's Design Guide

for

EXTENSIONS &/OR ALTERATIONS

of terraced residential properties
built prior to 1945

Merthyr
Tydfil
County
Borough
Council

Customer
Corporate
Services

Planning
Division

MERTHYR
DESIGN



TYDFIL
GUIDE

Approved 8/9/98

INTRODUCTION

THE PURPOSE OF THESE GUIDELINES

These guidelines provide advice to householders and developers considering building extensions, setting out the criteria against which planning applications will be considered, with the aim of improving the design of such extensions. Each proposal will be considered in relation to the policies set out in this leaflet.

PROCEDURES & PLAN PREPARATION

BEFORE WORK COMMENCES

Householders and developers are advised to contact the Planning Division to seek advice whether planning permission is required BEFORE any such works commence. In addition, most building work will require approval under Building Regulations for which separate procedures apply. Other separate and more stringent controls apply for properties in Conservation Areas, for Listed Buildings and the Brecon Beacons National Park. Applications which retain the characteristic features of properties in these areas will be favourably considered. Demolition of buildings in these areas will require additional specific consent. If your application is for a property in the Brecon Beacons National Park, contact the Brecon Beacons National Park Authority, the address is on the back of this leaflet.

CHECK FIRST

Extensions which are well designed will not only provide more usable space but also enhance the property in appearance and will prove cost effective. Therefore you should check that you are using existing space efficiently, note the existing visual characteristics of your house, (it's shape, style and materials) and ensure its appearance balances with adjacent houses and the locality in general. It is recommended that professional advice is sought at the outset.

FORMS

Planning application forms can be obtained from the Planning Division, Customer Corporate Services, Merthyr Tydfil County Borough Council, Ty Keir Hardie, Riverside Court, Avenue de Clichy, Merthyr Tydfil CF47 8XF tel.: 01685 726280

The completed, signed forms should be returned for determination together with four copies of each drawing at a suitable metric scale (e.g. 1:100, 1:50) showing:-

- 1) plans and elevations of the existing property and elevations of the adjoining properties where appropriate.
- 2) plans and elevations of the property as proposed with sections where appropriate
- 3) full details of existing and proposed materials
- 4) location plan of property at a suitable metric scale e.g. 1/500; 1/1250
- 5) the appropriate planning application fee shall be submitted with the planning application
- 6) appropriate Article 8 Certificate

GUIDELINES FOR GOOD DESIGN

Extensions and alterations need to be considered carefully. Badly designed, they can ruin the appearance of the property and the neighbourhood. Well designed, they can enhance the area and increase the value of the property. A well designed extension or alteration should respect the original character of the building. In order to retain the character of the building and the neighbourhood, the scale and proportions of the proposal are a major factor. An extension should not dominate the building or the neighbouring buildings.

SITING

On most terraced properties, it is physically possible to extend only at the rear. Extensions will not be permitted to the front elevations of terraced properties and will not normally be permitted to the side elevations of end of terrace properties.

DIMENSIONS

To prevent extensions from being too dominant, the following restrictions will be maintained:-

- 1) Rear ground floor extensions will not be permitted to project more than 6.5 metres

Fig 1

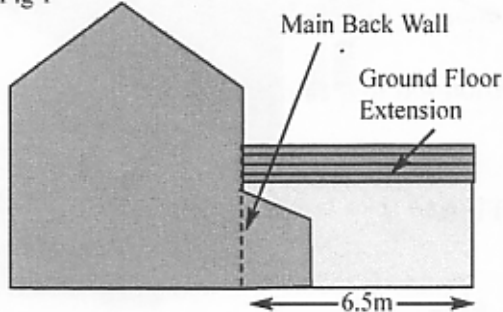


Fig 2

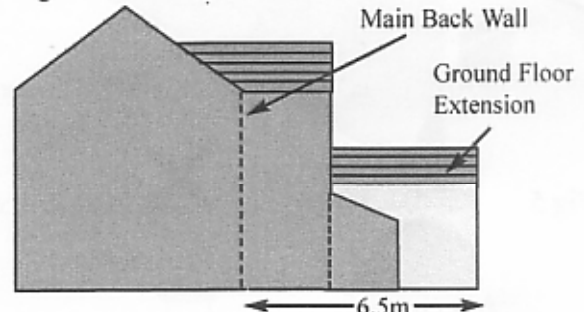


Fig 3

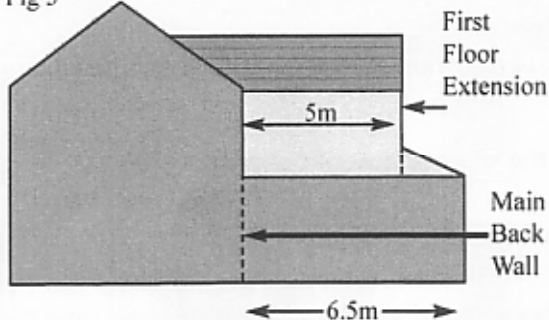
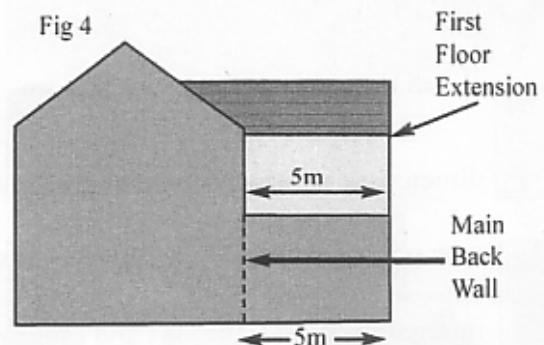


Fig 4



Generally acceptable types of dormer windows

ROOF DESIGN

The roof is one of the most significant aspects of a good extension design and should be in keeping with the rest of the building. A pitched roof has the advantage of low maintenance cost, durability and affords additional storage space. It should also significantly improve the appearance of the property. The following design criteria shall be observed:

- 1) All extensions shall be provided with either a slate or tile covered pitched roof,
- 2) Flat roofs will **not** be permitted,
- 3) All extensions shall be erected below the ridge line of the dwelling, those that exceed the line will **not** be permitted.

(See figures 5 & 6)

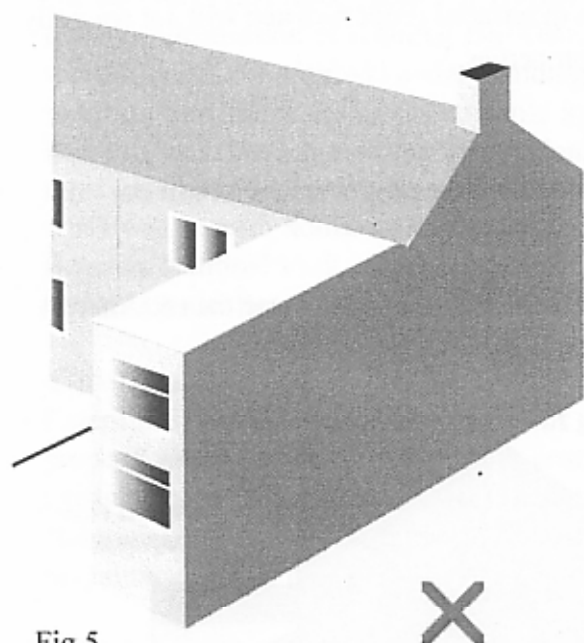


Fig 5

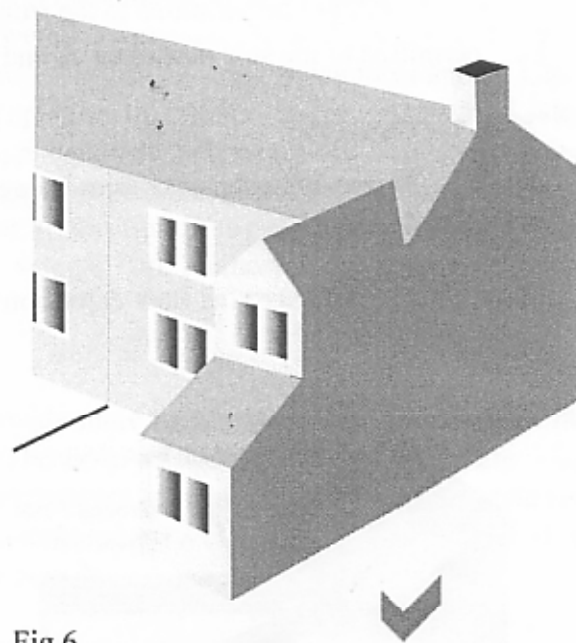


Fig 6

WINDOW DESIGN

When matching old and new windows careful attention should be paid to the following:-

- 1) dimensions of window openings should be the same or complimentary,
- 2) new windows should line up with existing windows,
- 3) internal division (mullions and transoms) should be of similar proportions and give the same vertical emphasis,
- 4) the style of the windows should match existing windows.

(See figures 7 & 8)

Fig7

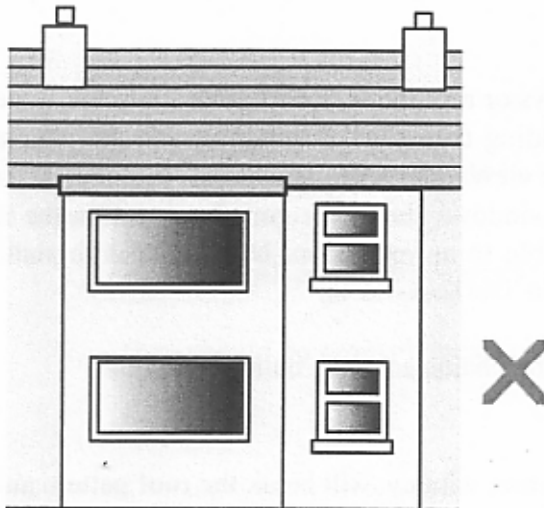
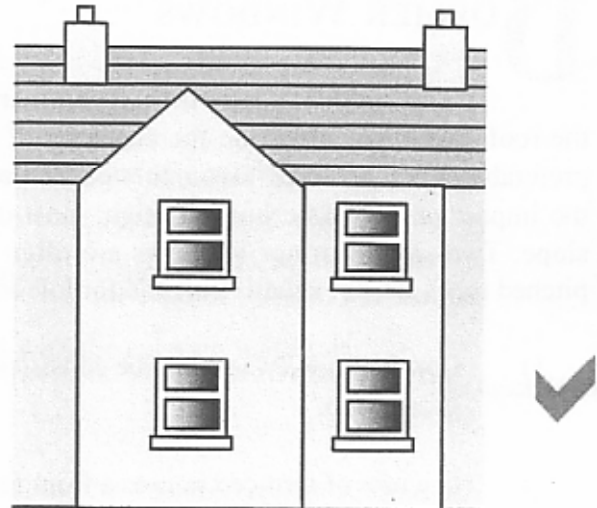


Fig 8



PORCHES

Porches, like larger extensions, should reflect the character of the building onto which they are built and should not appear to dominate the frontage or be out of character in a street.

- 1) Porches should be in the character of the building and the street.
- 2) They should be in scale and proportion to the building.
- 3) They should be fitted with a pitched roof.
- 4) Porches and canopies will not normally be permitted where properties have no front garden.
- 5) Porches which extend over existing window openings on front elevations will not



Fig 9

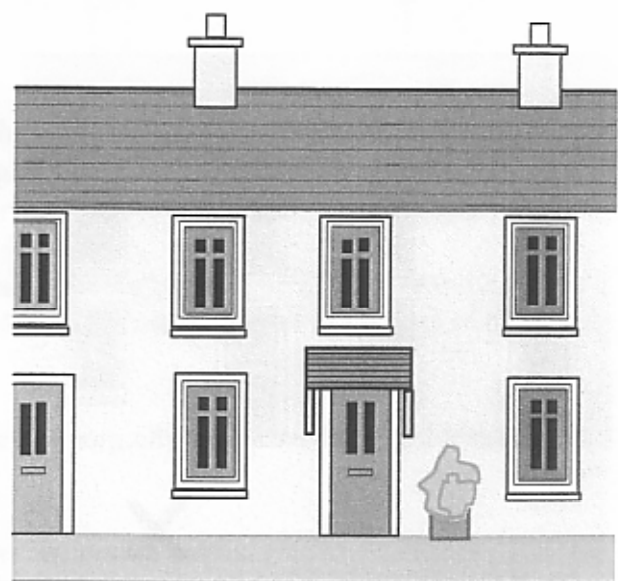


Fig 10

DORMER WINDOWS

Converted lofts may be lit by dormer windows or roof lights. Roof lights set in the slope of the roof create less effect on the character of the building than dormer windows and are generally preferable. They are most favourably positioned out of view on the rear side of the building. To limit the impact on the basic house design, most dormer windows should be contained within the roof slope. Two small dormer windows are often preferable to an extension. Dwellings with shallow pitched roofs are not usually suitable for loft conversion. (See figures 9 & 10)

- 1) Dormer windows should be consistent with the character of the building and the streetscene.
- 2) In a row of terraced houses a front facing dormer window will break the roof pattern and will **not** normally be allowed.
- 3) Dormer windows should be in scale and proportion with the building and the roof.
- 4) The pitch on the dormer roof should relate to the pitch on the main roof.
- 5) The dormer window should **not** extend above the ridge line of the roof or break the line of the eaves.
- 6) The style and type of window used should conform to the style and type of the existing windows and be aligned to them where possible.
- 7) Roof additions constructed directly off the main front and rear structural walls are not considered to be dormer windows, and will not normally be permitted.

Fig 9

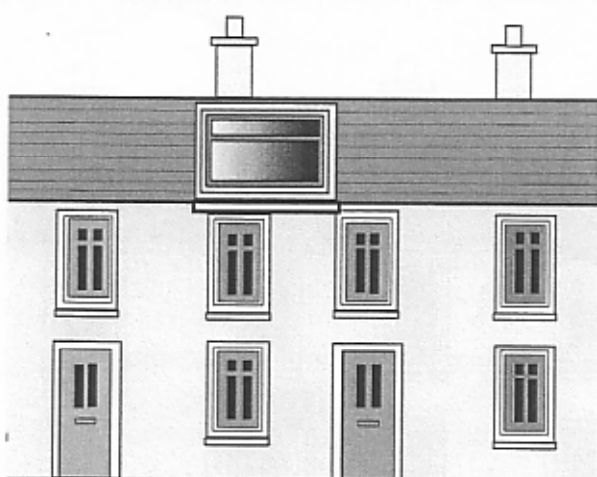
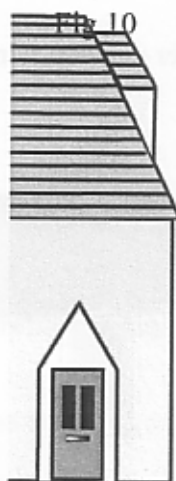


Fig 10



MATERIALS

Careful selection should be made in the choice of materials.

It should be noted that:-

- 1) external wall and roof materials should match existing materials,
- 2) they should be sympathetically integrated with the existing materials.

(See figures 11 & 12)

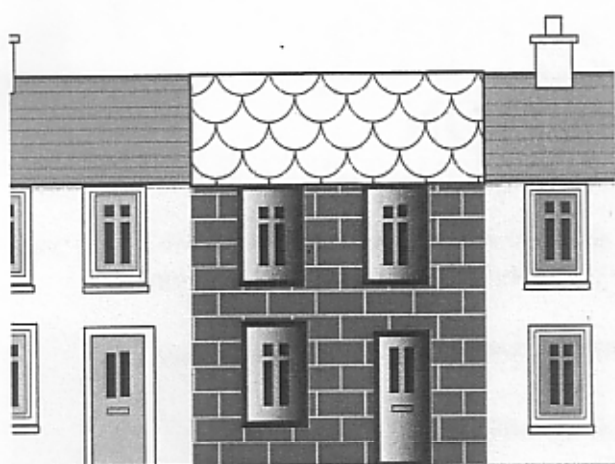


Fig 11

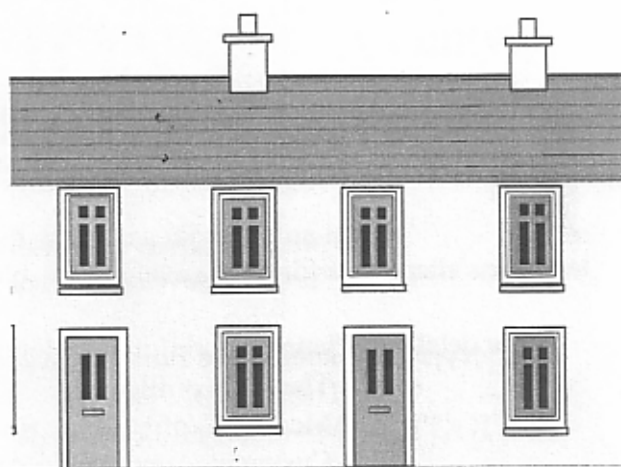


Fig 12



PROTECTION OF PRIVACY

Another important consideration, when building extensions or making alterations, is whether the proposal will affect you or your neighbour's privacy. In the interests of protecting that privacy the following restrictions need to be observed.

- 1) The distance between windows of "habitable rooms" should be not less than 12 metres (40ft) between opposite properties. (This distance is much greater in the case of new dwellings).
- 2) "Habitable room" windows will therefore not normally be allowed along side elevations of terraced dwellings.

N.B. 'Habitable rooms' include lounges, bedrooms and dining rooms.

'Non habitable rooms' include kitchens, bathrooms, toilets, halls and porches.

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for

GARAGES

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Division

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TYDFIL
GUIDE

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Summer 2005

INTRODUCTION

THE PURPOSE OF THESE GUIDELINES

These guidelines provide advice to householders and developers who are considering building garages with the aim of improving the design of such structures. The guidelines set out the criteria against which all planning applications will be considered.

Garages may make a difference to the quality and image of the area; a well designed garage can enhance the appearance of a property. Due regard must be paid, in the design of garages, to the scale, proportion, character and materials of surrounding buildings.

PROCEDURES & PLAN PREPARATION

PLANNING PERMISSION

The "permitted development" rights for garage structures are complex and as such householders and developers are advised to contact the Planning Department for advice as to whether planning permission is required before work commences.

If your application relates to a property in the Brecon Beacons National Park, contact the Brecon Beacons National Park Authority. (The address is on the back of the leaflet.)

In addition, some building work will require approval under the Building Regulations for which separate procedures apply. Approval will also be required from the Council's Engineering Manager for vehicle crossovers and other works to adjoining highways.

MAKING A PLANNING APPLICATION

In order to make an application, you will need to submit ALL of the following:-

- 1) Four application forms, completed and signed
- 2) An appropriate Article 7 (Ownership) Certificate
- 3) Four copies of location and block plans at a suitable metric scale, with the application site edged in red
- 4) Four copies of the plans and elevations, with sections (where appropriate), including details of external finishes/ materials and
- 5) The appropriate planning application fee (please contact the Development Control Section for advice on the appropriate fee)

GUIDELINES FOR ACCEPTABLE GARAGE DEVELOPMENT

DESIGN

Good design is no less important for garages than for any other form of built development. The following design principles should therefore be taken into account:-

SCALE - a well designed garage will be in scale and proportion to other buildings within the vicinity. Where the garage is to be attached to a dwelling house it is important that it does not dominate the existing building. To achieve an appropriate scale without adversely affecting the proportions of the existing building, consideration should be given to setting the garage back from the main

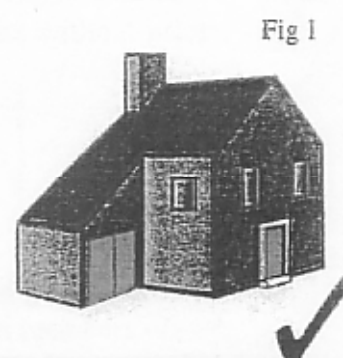


Fig 1

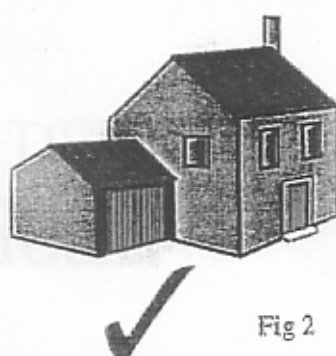


Fig 2

front wall of the dwelling house. Examples of attached garages which respect the scale and proportions of the existing dwelling house are illustrated by Figures 1-4. Inappropriate examples are shown by Figures 5-10.

FORM - the form of a proposed garage should reflect the architectural style of nearby buildings. Particular consideration should be given to existing roof planes within the locality and the form of the proposed garage should seek to complement this as far as possible. Examples of garages which have taken account of the form and style of existing buildings are illustrated by Figures 1-4.

MASS / HEIGHT - as the majority of garages are situated within domestic locations the mass and height of proposed garages should reflect this. For this reason single storey structures are preferable. However, where additional, ancillary storage space is required, consideration may be given to a moderate increase in ridge level. Examples of garages which do not respect the mass of their domestic setting are illustrated by Figures 5, 6, 7, 9 and 10.

MATERIALS / EXTERNAL FINISHES - where possible garage construction materials should match those of the main building to which it relates. Alternatively, materials should be used which complement and harmonise with existing external finishes within the locality.

SITING

In order to ensure the garage fits into the street scene, careful consideration should be given to the siting of the garage/s relative to:-

- * the adjoining highway (including side or rear lanes). Garages should ideally be set back off the highway to ensure adequate turning movement, forward vision and to prevent doors opening onto the highway. For example, in many back lane locations a minimum set back of 910 mm/3'0" is required.

- * the dwelling which it is intended to serve. Where a garage is to be

Fig 3

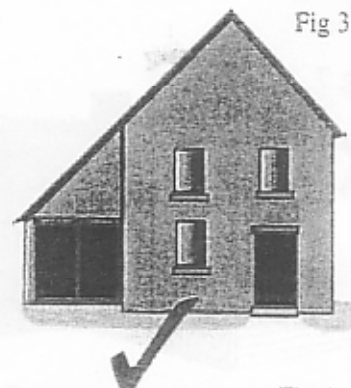


Fig 4

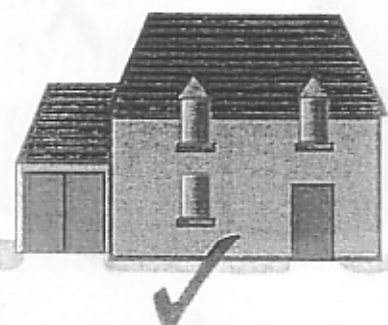


Fig 5

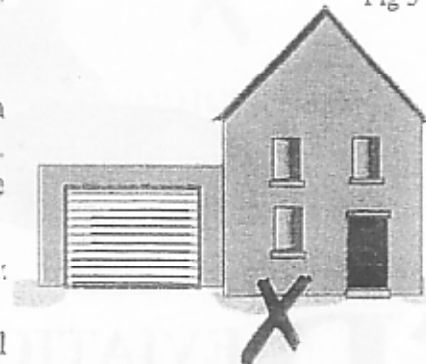


Fig 6

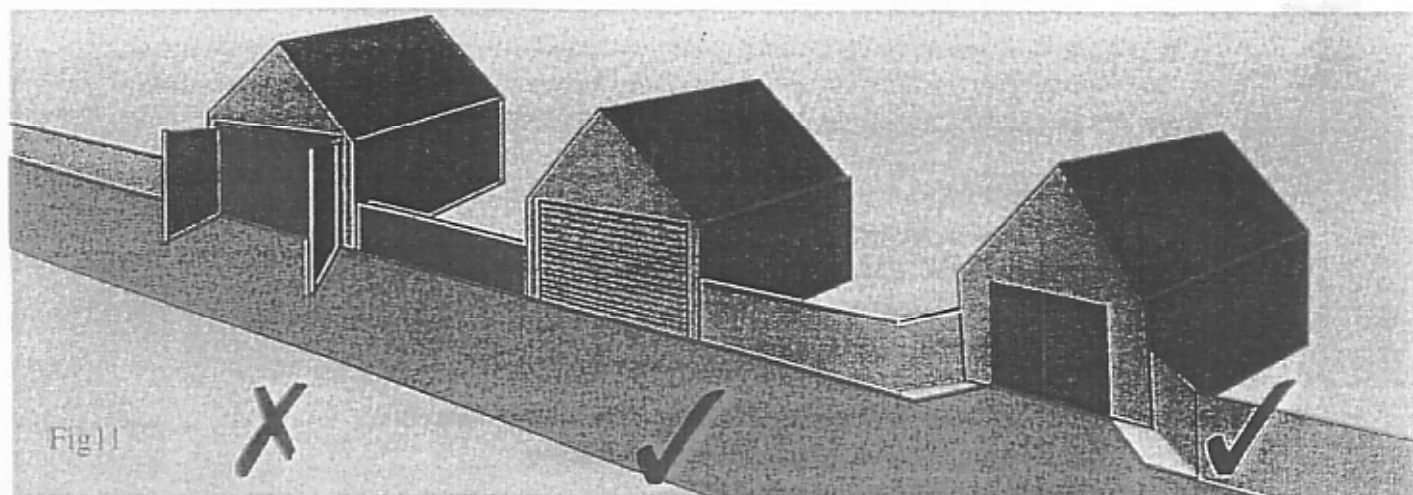
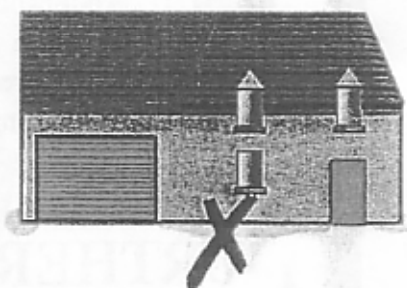
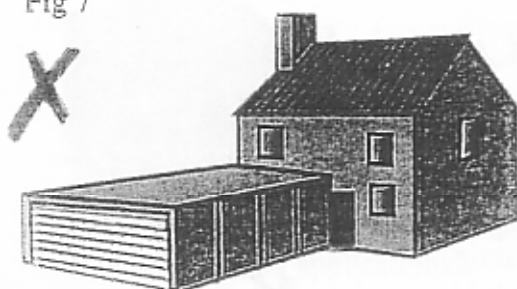


Fig 11

Fig 7



attached to an existing dwelling house or within the curtilage of a dwelling, then care should be taken to ensure that the siting of the proposed garage does not represent an obtrusive feature within the street scene. Figures 7, 9 and 10 illustrate garages which have been added to the front elevations of properties or which project forward of the main front wall. These examples show a disregard to the character of the existing dwelling and to the architectural unity of the locality in general.



* nearby buildings (if the garage is not erected within the curtilage of a dwelling).

Fig 8

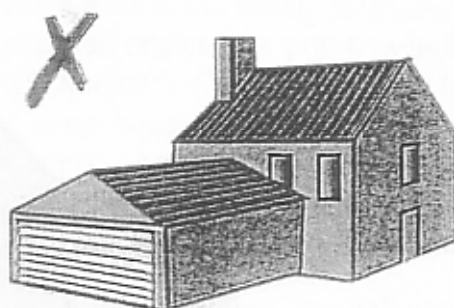


Fig 9

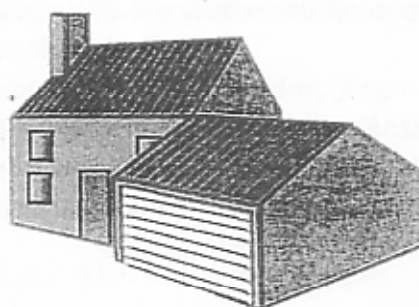


Fig 10

DEVIATION TO PLANS

Applicants are reminded that any deviation from the approved plans will require a further consent from the Planning Authority. Building Regulations approval may also be required. No works should commence on amended schemes without prior approval of the Local Planning Authority.

FURTHER INFORMATION

If you are in doubt as to how these guidelines apply to your proposed garage, or if you want to discuss alternative forms of development, please contact members of the Development Control Section on (01685) 726280

Address written enquiries to:-

The Planning Manager,
Merthyr Tydfil County Borough Council,
Ty Keir Hardie, Riverside Court,
Merthyr Tydfil, CF47 8XF

If the property is in The Brecon Beacons National Park, please contact

The Brecon Beacons National Park Authority,
7 Glamorgan Street, Brecon, LD3 7DP
or telephone (01874) 624437